

# NOTICE

This scan only represents the application as filed. The information contained herein meets the requirements of K.A.R. 5-3-1 or K.A.R. 5-5-1, and has been found acceptable for filing in the office of the Chief Engineer. The application should not be considered to be a complete application as per K.A.R. 5-3-1b or K.A.R. 5-5-2a.

THE STATE OF KANSAS



KANSAS DEPARTMENT OF AGRICULTURE  
Jackie McClaskey, Secretary of Agriculture

DIVISION OF WATER RESOURCES  
David W. Barfield, Chief Engineer

File Number 497.36  
This item to be completed by the Division of Water Resources.

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12:30  
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**APPLICATION FOR PERMIT TO  
APPROPRIATE WATER FOR BENEFICIAL USE**

Filing Fee Must Accompany the Application  
(Please refer to Fee Schedule attached to this application form.)

To the Chief Engineer of the Division of Water Resources, Kansas Department of Agriculture,  
1320 Research Park Drive, Manhattan, KS 66502:

1. Name of Applicant (Please Print): Prairie Land Management LLC  
Address: 4104 South Herron Road  
City: Hutchinson State KS Zip Code 67501  
Telephone Number: ( 620 ) 727-4291
2. The source of water is:  surface water in Unnamed Trib. to Arkansas River  
(stream)  
OR  groundwater in \_\_\_\_\_  
(drainage basin)

Certain streams in Kansas have minimum target flows established by law or may be subject to administration when water is released from storage for use by water assurance district members. If your application is subject to these regulations on the date we receive your application, you will be sent the appropriate form to complete and return to the Division of Water Resources.

3. The maximum quantity of water desired is 40.0 acre-feet OR \_\_\_\_\_ gallons per calendar year,  
to be diverted at a maximum rate of 500 NF gallons per minute OR \_\_\_\_\_ cubic feet per second.  
natural flows

Once your application has been assigned a priority, the requested maximum rate of diversion and maximum requested quantity of water under that priority number can **NOT** be increased. Please be certain your requested maximum rate of diversion and maximum quantity of water are appropriate and reasonable for your proposed project and are in agreement with the Division of Water Resources' requirements.

4. The water is intended to be appropriated for (Check use intended):
- (a)  Artificial Recharge (b)  Irrigation (c)  Recreational (d)  Water Power  
(e)  Industrial (f)  Municipal (g)  Stockwatering (h)  Sediment Control  
(i)  Domestic (j)  Dewatering (k)  Hydraulic Dredging (l)  Fire Protection  
(m)  Thermal Exchange (n)  Contamination Remediation x-Stormwater Detention

YOU **MUST** COMPLETE AND ATTACH ADDITIONAL DIVISION OF WATER RESOURCES FORM(S) PROVIDING INFORMATION TO SUBSTANTIATE YOUR REQUEST FOR THE AMOUNT OF WATER FOR THE INTENDED USE REFERENCED ABOVE.

For Office Use Only:							
F.O.	<u>2</u>	GMD	<u>2</u>	Meets K.A.R. 5-3-1	(YES/NO)	Use	<u>REC</u>
Code	<u>REG</u>	Fee \$	<u>200</u>	TR #		Source	<u>G S</u>
						County	<u>RN</u>
						By	<u>KAB</u>
						Date	<u>12/2/16</u>
						Receipt Date	<u>12/2/16</u>
						Check #	<u>297</u>

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12/16/2016 LLM

5. The location of the proposed wells, pump sites or other works for diversion of water is:

**Note:** For the application to be accepted, the point of diversion location must be described to at least a 10 acre tract, unless you specifically request a 60 day period of time in which to locate the site within a specifically described, minimal legal quarter section of land.

- (A) One in the \_\_\_\_ quarter of the ~~SE~~ <sup>SW</sup> quarter of the ~~NE~~ <sup>SE</sup> quarter of Section 35 more particularly described as being near a point ~~920'~~ <sup>3560</sup> feet North and 1500' feet West of the Southeast corner of said section, in Township 23 South, Range 6 East (West (circle one)), Reno County, Kansas.
- (B) One in the \_\_\_\_ quarter of the \_\_\_\_ quarter of the \_\_\_\_ quarter of Section \_\_\_\_\_, more particularly described as being near a point \_\_\_\_ feet North and \_\_\_\_ feet West of the Southeast corner of said section, in Township \_\_\_\_ South, Range \_\_\_\_ East/West (circle one), \_\_\_\_\_ County, Kansas.
- (C) One in the \_\_\_\_ quarter of the \_\_\_\_ quarter of the \_\_\_\_ quarter of Section \_\_\_\_\_, more particularly described as being near a point \_\_\_\_ feet North and \_\_\_\_ feet West of the Southeast corner of said section, in Township \_\_\_\_ South, Range \_\_\_\_ East/West (circle one), \_\_\_\_\_ County, Kansas.
- (D) One in the \_\_\_\_ quarter of the \_\_\_\_ quarter of the \_\_\_\_ quarter of Section \_\_\_\_\_, more particularly described as being near a point \_\_\_\_ feet North and \_\_\_\_ feet West of the Southeast corner of said section, in Township \_\_\_\_ South, Range \_\_\_\_ East/West (circle one), \_\_\_\_\_ County, Kansas.

*\* per phone call w/ Harbor Foraker on 12-2-16*

If the source of supply is groundwater, a separate application shall be filed for each proposed well or battery of wells, except that a single application may include up to four wells within a circle with a quarter (1/4) mile radius in the same local source of supply which do not exceed a maximum diversion rate of 20 gallons per minute per well.

A battery of wells is defined as two or more wells connected to a common pump by a manifold; or not more than four wells in the same local source of supply within a 300 foot radius circle which are being operated by pumps not to exceed a total maximum diversion rate of 800 gallons per minute and which supply water to a common distribution system.

6. The owner of the point of diversion, if other than the applicant is (please print):

\_\_\_\_\_

(name, address and telephone number)

\_\_\_\_\_

(name, address and telephone number)

You must provide evidence of legal access to, or control of, the point of diversion from the landowner or the landowner's authorized representative. Provide a copy of a recorded deed, lease, easement or other document with this application. In lieu thereof, you may sign the following sworn statement:

I have legal access to, or control of, the point of diversion described in this application from the landowner or the landowner's authorized representative. I declare under penalty of perjury that the foregoing is true and correct.

Executed on \_\_\_\_\_, 20 16 \_\_\_\_\_  
Applicant's Signature

The applicant must provide the required information or signature irrespective of whether they are the landowner. Failure to complete this portion of the application will cause it to be unacceptable for filing and the application will be returned to the applicant.

7. The proposed project for diversion of water will consist of grassed weir for pond outlet  
(number of wells, pumps or dams, etc.)  
and (was) (will be) completed (by) 3-1-17  
(Month/Day/Year - each was or will be completed)

8. The first actual application of water for the proposed beneficial use was or is estimated to be 4-1-17  
(Mo/Day/Year)

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NEW STREAM WORKSHEET

ES AJW

Date: 12/5/16

File No. 491736

Basin Name: Arkansas Rvr Basin No. 33

Stream Name: Arkansas Rvr Trib 10 A (Ark)

Stream location (confluence with parent stream):

Section 25, Township 23 South, Range 6 <sup>West</sup> ~~(East)~~

Map Color Coding:

Basin Stream – Blue

Named Main Stream off Basin Stream – Yellow

Named Stream off Main Stream – Green

Unnamed Trib (1, 2, 3, 4, etc.) – Pink

Unnamed Trib to Unnamed Trib (A, B, C, etc.) – Orange

Unnamed Trib to Unnamed Trib to Unnamed Trib (1, 2, 3, etc.) – Purple

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Stream No. 3892 (computer assigned - entered by data entry staff)

Date Entered 12/6/2016 By LM

NEW STREAM WORKSHEET

ES AdW

Date: 12/5/14

File No. 491736

Basin Name: Arkansas River Basin No. 33

Stream Name: Arkansas River Trib 10 (Arkansas)

Stream location (confluence with parent stream):

Section 33, Township 23 South, Range 5 <sup>West</sup> (~~East~~)

Map Color Coding:

Basin Stream – Blue

Named Main Stream off Basin Stream – Yellow

Named Stream off Main Stream – Green

Unnamed Trib (1, 2, 3, 4, etc.) – Pink

Unnamed Trib to Unnamed Trib (A, B, C, etc.) – Orange

Unnamed Trib to Unnamed Trib to Unnamed Trib (1, 2, 3, etc.) – Purple

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Stream No. 3091 (computer assigned - entered by data entry staff)

Date Entered 12/6/2016 By LCM

- 9. Will pesticide, fertilizer, or other foreign substance be injected into the water pumped from the diversion works?  
 Yes     No    If "yes", a check valve shall be required.

All chemigation safety requirements must be met including a chemigation permit and reporting requirements.

- 10. If you are planning to impound water, please contact the Division of Water Resources for assistance, prior to submitting the application. Please attach a reservoir area capacity table and inform us of the total acres of surface drainage area above the reservoir.

Have you also made an application for a permit for construction of this dam and reservoir with the Division of Water Resources?     Yes     No

- If yes, show the Water Structures permit number here \_\_\_\_\_
- If no, explain here why a Water Structures permit is not required No dam is beina constructed. A pit pond is beina proposed. Also DWR permit is not required as drainaoc basin is less than 1 sq. mile and structure is non-iurisdictional.

- 11. The application must be supplemented by a U.S.G.S. topographic map, aerial photograph or a detailed plat showing the following information. On the topographic map, aerial photograph, or plat, identify the center of the section, the section lines or the section corners and show the appropriate section, township and range numbers. Also, please show the following information:

- (a) The location of the proposed point(s) of diversion (wells, stream-bank installations, dams, or other diversion works) should be plotted as described in Paragraph No. 5 of the application, showing the North-South distance and the East-West distance from a section line or southeast corner of section.
- (b) If the application is for groundwater, please show the location of any existing water wells of any kind within 1/2 mile of the proposed well or wells. Identify each existing well as to its use and furnish the name and mailing address of the property owner or owners. If there are no wells within 1/2 mile, please advise us.
- (c) If the application is for surface water, the names and addresses of the landowner(s) 1/2 mile downstream and 1/2 mile upstream from your property lines must be shown.
- (d) The location of the proposed place of use should be shown by crosshatching on the topographic map, aerial photograph or plat.
- (e) Show the location of the pipelines, canals, reservoirs or other facilities for conveying water from the point of diversion to the place of use.

A 7.5 minute U.S.G.S. topographic map may be obtained by providing the section, township and range numbers to: Kansas Geological Survey, 1930 Constant, Campus West, University of Kansas, Lawrence, Kansas 66047.

- 12. List any application, appropriation of water, water right, or vested right file number that covers the same diversion points or any of the same place of use described in this application. Also list any other recent modifications made to existing permits or water rights in conjunction with the filing of this application.

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13. Furnish the following well information if the proposed appropriation is for the use of groundwater. If the well has not been completed, give information obtained from test holes, if available.

Information below is from:  Test holes  Well as completed  Drillers log attached

Well location as shown in paragraph No.	(A)	(B)	(C)	(D)
Date Drilled	_____	_____	_____	_____
Total depth of well	_____	_____	_____	_____
Depth to water bearing formation	_____	_____	_____	_____
Depth to static water level	_____	_____	_____	_____
Depth to bottom of pump intake pipe	_____	_____	_____	_____

14. The relationship of the applicant to the proposed place where the water will be used is that of

Owner  
(owner, tenant, agent or otherwise)

15. The owner(s) of the property where the water is used, if other than the applicant, is (please print):

\_\_\_\_\_  
(name, address and telephone number)

\_\_\_\_\_  
(name, address and telephone number)

16. The undersigned states that the information set forth above is true to the best of his/her knowledge and that this application is submitted in good faith.

Dated at Hutchinson, Kansas, this \_\_\_\_\_ day of November, 2016.  
(month) (year)

Richard Graber  
(Applicant Signature)

By \_\_\_\_\_  
(Agent or Officer Signature)

Richard Graber  
(Agent or Officer - Please Print)

Assisted by \_\_\_\_\_ Date: \_\_\_\_\_  
(office/title)

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\_\_\_\_\_  
(Date)

Kansas Department of Agriculture  
Division of Water Resources  
David W. Barfield, Chief Engineer  
109 SW 9<sup>th</sup> Street, 2nd Floor  
Topeka, Kansas 66612-1283

Re: Application  
File No. \_\_\_\_\_

Minimum Desirable Streamflow

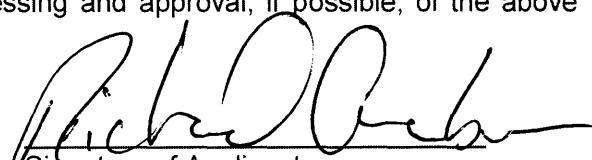
Dear Sir:

I understand that a Minimum Desirable Streamflow requirement has been established by the legislature for the source of supply to which the above referenced application applies.

I understand that diversion of water pursuant to this application will be subject to regulation any time Minimum Desirable Streamflow requirements are not being met.

I also understand that if this application is approved, there could be times, as determined by the Division of Water Resources, when I would not be allowed to divert water. I realize that this could affect the economics of my decision to appropriate water.

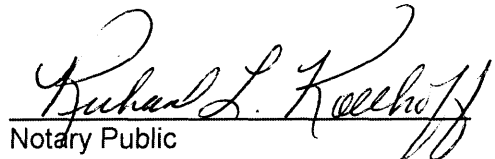
I am aware of the above factors, and with the knowledge thereof, request that the Division of Water Resources proceed with processing and approval, if possible, of the above referenced application.

  
Signature of Applicant

State of Kansas )  
County of Reno ) ss

Richard Graber. Prairie Land  
(Print Applicant's Name)

I hereby certify that the foregoing instrument was signed in my presence and sworn to before me this 16 day of November, 2016.

  
Notary Public

My Commission Expires: 2-22-19

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DWR KS DEPT OF AGRICULTURE

Richard L. KOLLHOFF  
Notary Public - State of Kansas  
My Comm. Expires 2-22-19

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**RECREATIONAL USE  
SUPPLEMENTAL SHEET**

File No. \_\_\_\_\_

Name of Applicant (Please Print): Richard Graber, Prairie Land Construction

1. Please indicate type of recreational use (boating, fishing, swimming, etc.): \_\_\_\_\_  
Pond is required to provide detention storage and water quality for Commercial  
development. Pond will be used for RV park fishing and swimming.

2. Please summarize how the water will be used and justify the quantity of water requested: \_\_\_\_\_  
Pond will be used for RV park recreation including fishing and swimming.  
Proposed pond surface area is 192,492 sq.ft. = 4.42 acres.  
Annual Evaporation = 4.42 acres x 26"/12=9.58 acre-feet.

3. Please complete the following table showing estimated future water requirements:

<b>ESTIMATED FUTURE WATER DIVERTED/STORED</b>	
<b>NEXT 5 YEARS</b>	<b>WATER TO BE DIVERTED (ACRE-FEET OR GALLONS)</b>
Year 1	28.73 acre-feet(Pond Filling)
Year 2	28.73 acre-feet(Annual evaporation and seepage)
Year 3	28.73 acre-feet(Annual evaporation and seepage)
Year 4	28.73 acre-feet(Annual evaporation and seepage)
Year 5	28.73 acre-feet(Annual evaporation and seepage)

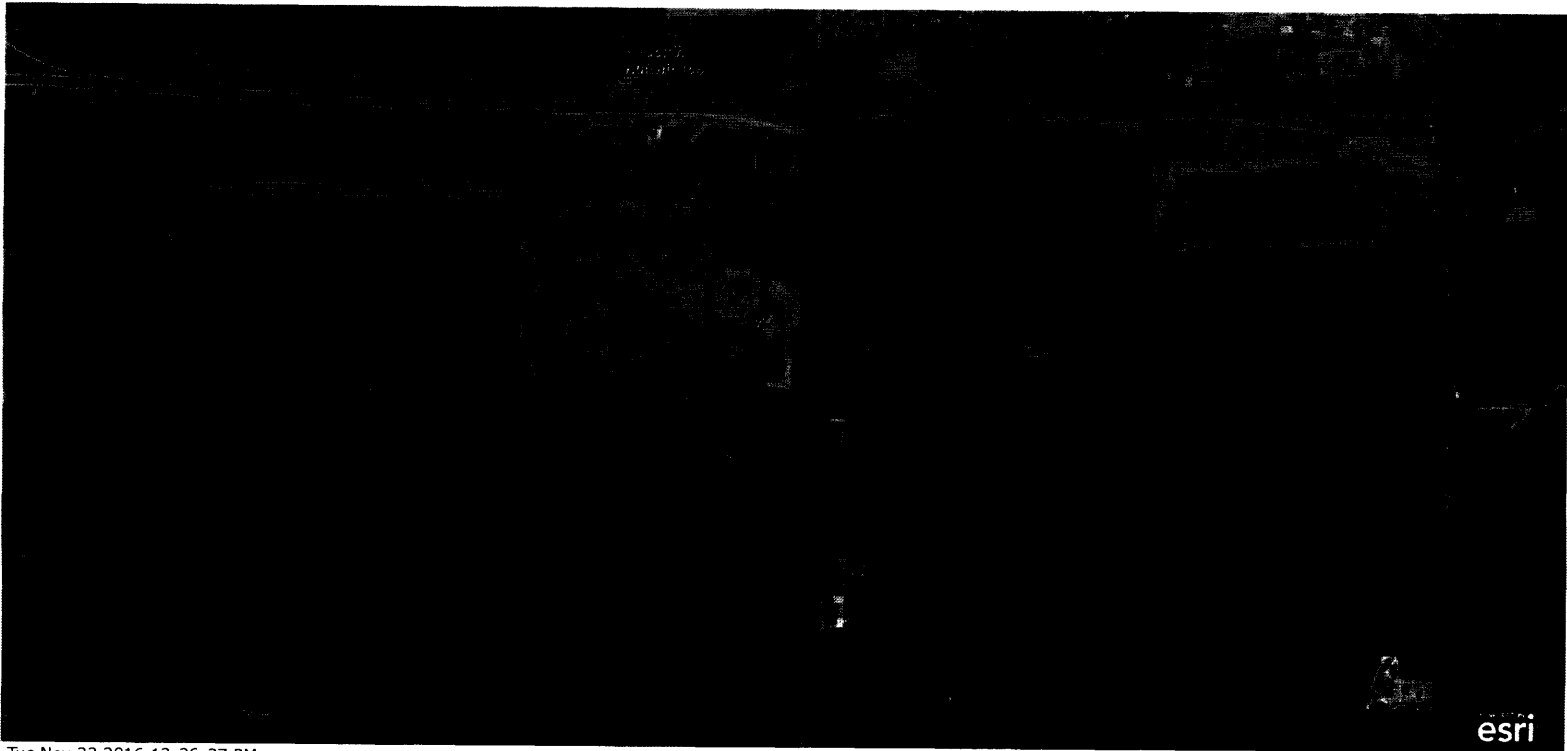
Please attach any additional information, tables, or curves showing past, present and estimated future water requirements to substantiate the amount of water requested.

4. Please designate the legal description of the location where the water is to be used by providing the fractional part of the Section, Township and Range.

SW 1/4, NE 1/4, Sec. 35, T.23S., R.6W., Reno County, KS

You may attach any additional information you believe will assist in informing the Division of the need for your request.

# Frontier Commerce Park



Tue Nov 22 2016 12:26:37 PM.

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1) North

0781273501001002000  
Faith Mennonite Church  
1403 S. Main St.  
South Hutchinson, KS 67505  
11.64 acres

2) Gas Station

0781273501001005000  
CTP LLC  
1515 S. Main St.  
South Hutchinson, KS 67505  
19.84 acres

3) East of 96

0781273602001002000  
Dokocil, Larry D. Liv Trust  
00000 S. K96 HWY  
Hutchinson, KS 67501  
67.77 acres

4) South of Frontier Commerce Park

0781273500002002000  
Evans, John R & Gloria A Revocable Trust  
00000 S. K96 HWY  
Hutchinson, KS 67501  
135.47 acres

5) Southeast

0781273600002003000  
Three E LLC  
2006 S. Main St.  
South Hutchinson, KS 67505  
4.52 Acres

6) Southeast

0781273600002004000  
Breitenback Realty, Inc.  
00000 S. K96 HWY  
Hutchinson, KS 67501  
7.48 acres

7) Southeast

0781273600002002000  
Morgan, Geneva E  
00000 S. K96 HWY  
Hutchinson, KS 67501  
43.68 acres

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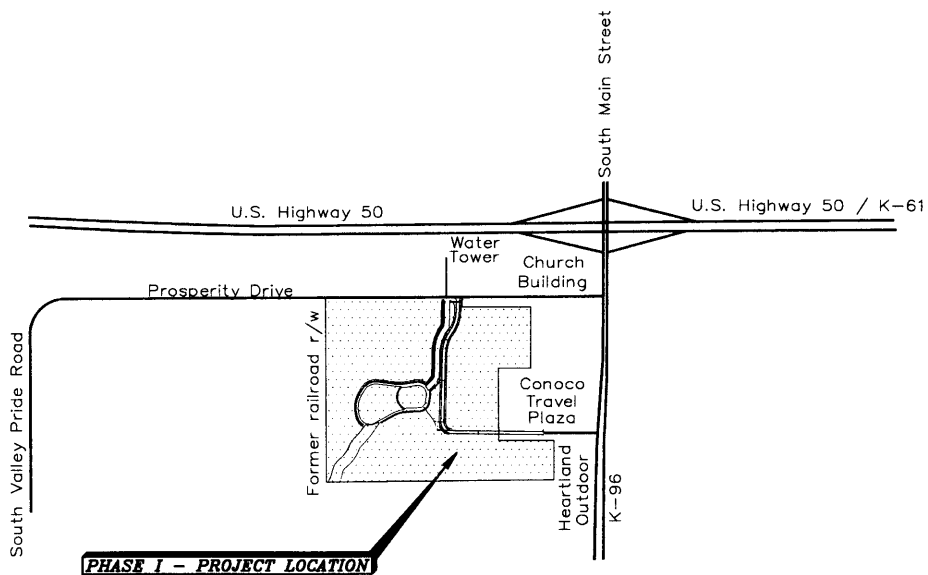
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# FRONTIER COMMERCE PARK PHASE I - STREET IMPROVEMENTS SOUTH HUTCHINSON, KANSAS PROJECT NO. 20152287

## APPROXIMATE SUMMARY OF QUANTITIES

DESCRIPTION	TOTAL	UNITS
Common Excavation	38117	C.Y.
Compacted Fill(95% ASTM D-698)	16213	C.Y.
6" P.C. Concrete Pavement (4,000 psi)	6856	S.Y.
8" Reinforced Crushed Rock Base	8652	S.Y.
30" Standard Curb & Gutter(Layback?)	4441	L.F.
7" Reinforced Concrete Drive	67	S.Y.
Storm Sewer Manhole	4	Each
Type 22 Curb Inlets	10	Each
Inlet Hookup	10	Each
15" Storm Sewer Pipe(RCP) in place	270	L.F.
18" Storm Sewer Pipe(RCP) in place	1302	L.F.
24" Storm Sewer Pipe(RCP) in place	228	L.F.
30" Storm Sewer Pipe(RCP) in place	61	L.F.
15" Concrete End Section	3	Each
18" Concrete End Section	2	Each
24" Concrete End Section	2	Each
30 Concrete End Section	1	Each
12" Storm Sewer Pipe(CMP) in place	49	L.F.
24" Storm Sewer Pipe(CMP) in place	24	L.F.
12" CMP End Section	2	Each
24" CMP End Section	1	Each
12" CMP Flap Gate	2	Each
24" CMP Flap Gate	1	Each
24" Concrete Headwall w/ Flap Gate	2	Each
18" Concrete Headwall w/ Flap Gate	1	Each
Pond Sealing	1	L.S.
6" Rip-Rap(12" Depth)	182	S.Y.
12" Rip-Rap(24" Depth)	492	S.Y.
Pipeline Protection Structure(Sta.12+61)(100 l.f.)	1	Each
Pipeline Protection Structure(Sta.14+80)(10 l.f.)	1	Each
Pipeline Protection Structure(Sta.178+35)(50 l.f.)	1	Each
Erosion Control	1	L.S.
Temporary and Permanent Project Seeding(15.2 acres)	1	L.S.
Site Clearing and Restoration	1	L.S.



## SOUTH HUTCHINSON VICINITY MAP (NOT TO SCALE) 2016

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ENGINEERING DESIGN  
10891  
11/15/14

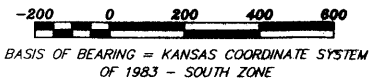
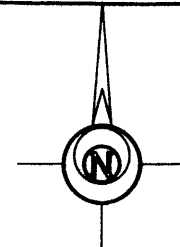
GARBER SURVEYING SERVICE, P.A.  
2908 North Plum  
Hutchinson, Kansas 67502

Daniel E. Garber, R.L.S.

FRONTIER COMMERCE PARK  
**TITLE SHEET**  
STREET IMPROVEMENTS  
SOUTH HUTCHINSON, KANSAS  
**CERTIFIED ENGINEERING DESIGN, P.A.**  
1935 WEST MAPLE  
WICHITA, KANSAS 67217

# CE PARK

ANGE 6 WEST OF THE 6TH PRINCIPAL MERIDIAN  
SAS,



OWNER'S  
CERTIFICATE  
AND  
SIGNATURE

- LEGEND**
- △ - Sectional Monument Found
  - - 5/8" x 24" Iron Rebar Set w/G.S.S. Cap
  - - - - Fence
  - (C) - Calculated
  - (M) - Measured
  - (PL) - Plotted
  - (PS) - Previous Survey
  - P.O.B. - Point of Beginning
  - P.O.C. - Point of Commencement

**DESCRIPTION:**

A portion of the Northeast Quarter of Section 35, Township 23 South, Range 6 West of the 6th Principal Meridian, Reno County, Kansas described as follows:

Commencing at the Northwest Corner of the Northeast Quarter of Section 35, Township 23 South, Range 6 West of the 6th Principal Meridian; thence with bearings based in the Kansas Coordinate System of 1983-South Zone, North 89°46'00" East along the North line of said Northeast Quarter 97.00 feet (County corner tie records) to the former East right-of-way line of the Burlington Northern and Santa Fe Railway Company (abandoned to the City of South Hutchinson by Quitclaim recorded in Book 582 at Page 8, Reno County deed records); thence South 00°08'25" West along said former East right-of-way line 249.23 feet to the South K-96 Highway right-of-way line for the Point of Beginning; thence North 89°27'03" East along said South right-of-way line 614.30 feet to a deflection point; thence North 89°21'30" East continuing along said South right-of-way line 466.76 feet to the West line of that certain parcel conveyed by deed recorded in Book 490 at Page 333, Reno County deed records; thence South 00°30'07" West along said West line 146.54 feet to the Southwest corner of said parcel; thence departing said West line North 89°46'00" East along the South line of said parcel 145.04 feet to the East line of the West Half of said Northeast Quarter; thence departing said South line South 00°21'10" West along said East line 403.47 feet to a point on a non-tangent curve; thence Southeastly along said curve, said curve being concave to the Southwest and having a radius of 57.29 feet through central angle of 76°29'55" for an arc length of 76.49 feet, the chord of which bears South 37°53'47" East, 70.94 feet; thence North 89°20'18" East along the South right-of-way line of Prosperity Drive 617.50 feet; thence departing said South right-of-way line South 00°30'07" West 546.77 feet; thence South 89°46'38" West 284.00 feet; thence South 00°30'07" West 629.00 feet; thence North 89°46'38" East 503.84 feet; thence South 00°29'08" West 534.28 feet to the South line of said Northeast Quarter; thence South 89°38'45" West along said South line 2094.01 feet to the East line of said, abandoned railroad right-of-way; thence North 00°08'25" East along said right-of-way line 2309.22 feet to the Point of Beginning containing 88.816 Acres subject to any easements of record.

**OWNER'S CERTIFICATE**

State of Kansas )  
County of Reno ) SS

This is to certify that the undersigned, Richard Graber, owns the land described in the plat and has caused the same to be surveyed and subdivided as indicated thereon, for the uses and purposes therein set forth, and does hereby acknowledge and adopt the same under the title and title thereon indicated.

All streets shown on this plat are hereby dedicated to the public. An easement or license to the public to install, construct and maintain or authorize the location, construction and maintenance of conduit, water, sewer, telephone or required drainage channels or structures upon the areas marked for easements on this plat are hereby granted.

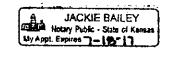
Richard Graber  
Richard Graber

**NOTARY CERTIFICATE**

State of Kansas )  
County of Reno ) SS

Jackie Bailey, a Notary Public in and for said County, in the State aforesaid, do hereby certify that Richard Graber, owner of the land described in the foregoing instrument and acting under and by the virtue of the laws of the State of Kansas, who are subscribed to the foregoing instrument on such owners, appeared before me this day in person and acknowledged that he signed and delivered the plat on the free and voluntary act of said corporation, for the purpose therein set forth.

Given under my hand and Notarial Seal this 18<sup>th</sup> day of March, A.D., 2014



**SOUTH HUTCHINSON CITY PLANNING COMMISSION CERTIFICATE**

State of Kansas )  
County of Reno ) SS

Approved this 13 day of January, A.D., 2014

**SOUTH HUTCHINSON CITY PLANNING COMMISSION**

James Dull  
Chairman  
Attest: James Dull  
Secretary

**SOUTH HUTCHINSON CITY COUNCIL CERTIFICATE**

State of Kansas )  
County of Reno ) SS

Approved this 21 day of January, A.D., 2014

Mayer: Daniel E. Barber  
Attest: Daniel E. Barber  
City Clerk

**COUNTY SURVEYOR'S CERTIFICATE**

State of Kansas )  
County of Reno ) SS

I hereby certify that I have reviewed the surveyed plot and certify said plot to be in compliance with the requirements of K.S.A. 58-2005.

Richard Graber  
County Surveyor

**REGISTER OF DEEDS CERTIFICATE:**

STATE OF KANSAS )  
                          ) SS  
COUNTY OF RENO )  
                          )     BONNIE RUEBKE  
  RENO COUNTY  
  REGISTER OF DEEDS  
  HUTCHINSON KS 67501

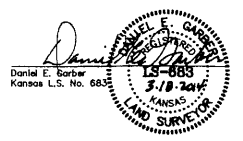
Recorded this 14<sup>th</sup> day of April, 2014 A.D., at 3:02 A.M. P.M.  
Fee Paid: \$60.00 Filed in plot File: 8 Sleeve: 184 A

**SURVEYOR'S CERTIFICATE**

State of Kansas )  
County of Reno ) SS

I, the undersigned, do hereby certify that I am a Registered Land Surveyor in the State of Kansas, with the experience and proficiency in land surveying; that the heretofore described property was surveyed and subdivided by me, or under my supervision; that all subdivision regulations of the City of South Hutchinson, Kansas have been complied with in the preparation of this plat and that all the monuments shown herein actually exist and their positions are correctly shown to the best of my knowledge and belief.

Date of Survey 9-14-2012



Given under my hand and seal at Hutchinson, Kansas this 18<sup>th</sup> day of March, A.D., 2014

K96 HIGHWAY

WATER RESOURCES  
RECEIVED

DEC 02 2016

KS DEPT OF AGRICULTURE

SCANNED

SE Cor. NE 1/4  
Sec. 35, T23S, R6W  
Ed. Mag. Roll w/ Brass washer scribed "GSS"  
from County Reference Ties

**GENERAL NOTES**

CONTRACTOR SHALL NOT START WORK ON THE PROJECT UNTIL THE PROJECT INSPECTOR IS ASSIGNED TO THE PROJECT IS PRESENT ON THE SITE. ANY WORK DONE WITHOUT INSPECTION WILL BE REQUIRED TO BE UNCOVERED FOR INSPECTION.

ALL AREAS DISTURBED BY THE CONTRACTOR SHALL BE SEEDED, FERTILIZED AND MULCHED IN ACCORDANCE WITH CITY OF SOUTH HUTCHINSON SPECIFICATIONS. SEEDING PERIODS FOR COOL SEASON AND WARM SEASON GRASS SPECIES SHALL CONFORM WITH THE CITY OF SOUTH HUTCHINSON SPECIFICATION FOR FERTILIZING, MULCHING AND SEEDING, CURRENT EDITION.

PAYMENT FOR MINOR DITCH GRADING NECESSARY TO PROVIDE POSITIVE DRAINAGE IN AREAS IDENTIFIED BY THE ENGINEER SHALL BE SUBSIDIARY TO OTHER ITEMS IN THE CONTRACT.

FILL REQUIRED ADJACENT TO THE EDGE OF THE NEW PAVEMENT SHALL BE CLEAN AND COMPACTED TOPSOIL MATERIAL. SOIL FILL WILL NOT BE PLACED ON THE SURFACE COURSE OF ASPHALT PAVEMENT. THE COST FOR THIS ITEM OF WORK SHALL NOT BE PAID FOR DIRECTLY BUT WILL BE CONSIDERED SUBSIDIARY TO OTHER ITEMS OF WORK.

UTILITY SERVICE LINES, POLES, VALVE BOXES, METERS, ETCETERA ARE TO BE ADJUSTED AS NECESSARY BY OTHERS PRIOR TO CONSTRUCTION UNLESS THE PLANS SPECIFICALLY CALL FOR THEIR ADJUSTMENT BY THE CONTRACTOR OR UNLESS THE PLANS SPECIFICALLY IDENTIFY A UTILITY TO BE ADJUSTED BY ITS OWNER DURING CONSTRUCTION. EXISTING UTILITIES AND THEIR LOCATION, AS SHOWN ON THE PLANS, REPRESENT THE BEST INFORMATION OBTAINABLE FOR DESIGN. THE PLAN LOCATIONS ARE NOT GUARANTEED AND ADDITIONAL UTILITIES MAY ALSO BE ENCOUNTERED. THE CONTRACTOR WILL BE REQUIRED TO WORK AROUND EXISTING UTILITIES WITHIN THE RIGHT-OF-WAY WHICH DO NOT CONFLICT WITH PROPOSED CONSTRUCTION. THE CONTRACTOR MAY ALSO BE REQUIRED TO WORK AROUND UTILITIES WHICH HAVE NOT COMPLETED RELOCATION PRIOR TO CONSTRUCTION. THIS ITEM OF WORK SHALL NOT BE PAID FOR DIRECTLY BUT WILL BE CONSIDERED SUBSIDIARY TO OTHER ITEMS OF WORK.

EROSION CONTROL FOR CONSTRUCTION AREA TO BE INSTALLED PER CITY SPECIFICATIONS.

CONTRACTOR WILL BE REQUIRED TO PROVIDE A MINIMUM ADVANCE NOTICE OF SEVENTY-TWO (72) HOURS TO UTILITY COMPANIES PRIOR TO STARTING ANY EXCAVATIONS AS FOLLOWS:

KANSAS ONE CALL 1-800-DIG-SAFE

THE CONTRACTOR SHALL GIVE ALL PROPERTY OWNERS AND/OR TENANTS OF DEVELOPED PROPERTY DIRECTLY ABUTTING THE CONSTRUCTION OF THIS PROJECT A MINIMUM OF TEN (10) DAYS ADVANCE NOTICE PRIOR TO START OF CONSTRUCTION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY PINS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY IRONS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH IRONS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.

THE CONTRACTOR SHALL RESTORE ALL DITCHES, SWALES, ROAD SHOULDERS, ENTRANCES AND BANK LINES TO THEIR ORIGINAL SLOPES AND GRADES EXCEPT AS SHOWN OTHERWISE.

PROPERTIES WITHIN THE PROJECT LIMITS MAY HAVE UNDERGROUND SPRINKLER SYSTEMS IN THE PUBLIC RIGHT-OF-WAY WHICH CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REMOVE SUCH IMPROVEMENTS SHOULD THEY NOT BE REMOVED BY THEIR OWNER AT THE TIME OF CONSTRUCTION OF THE PROJECT. THE CONTRACTOR WILL BE REQUIRED TO SALVAGE ALL SPRINKLER HEADS AND/OR VALVES AND GIVE SUCH MATERIAL TO THEIR OWNER. PORTIONS OF UNDERGROUND SPRINKLER SYSTEMS NOT IN CONFLICT WITH NEW CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE AND SHALL REMAIN IN PLACE. ALL WORK IN CONNECTION WITH UNDERGROUND SPRINKLER SYSTEMS SHALL BE CONSIDERED AS SUBSIDIARY TO THE CONTRACT PAY ITEMS OF WORK.

ANY REPLACEMENT OF CURB & GUTTER SHALL MATCH EXISTING TYPE OF CURB & GUTTER.

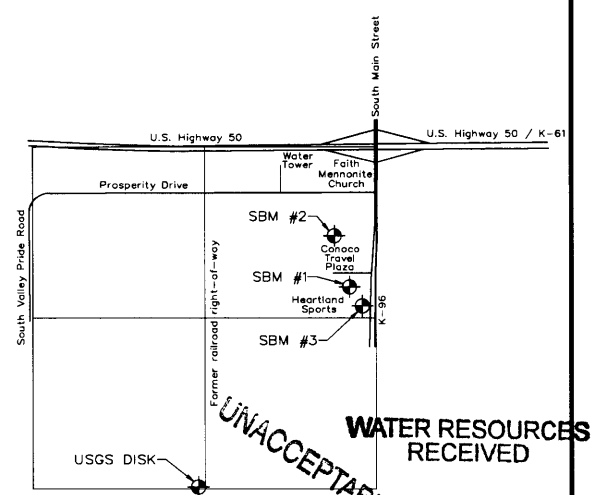
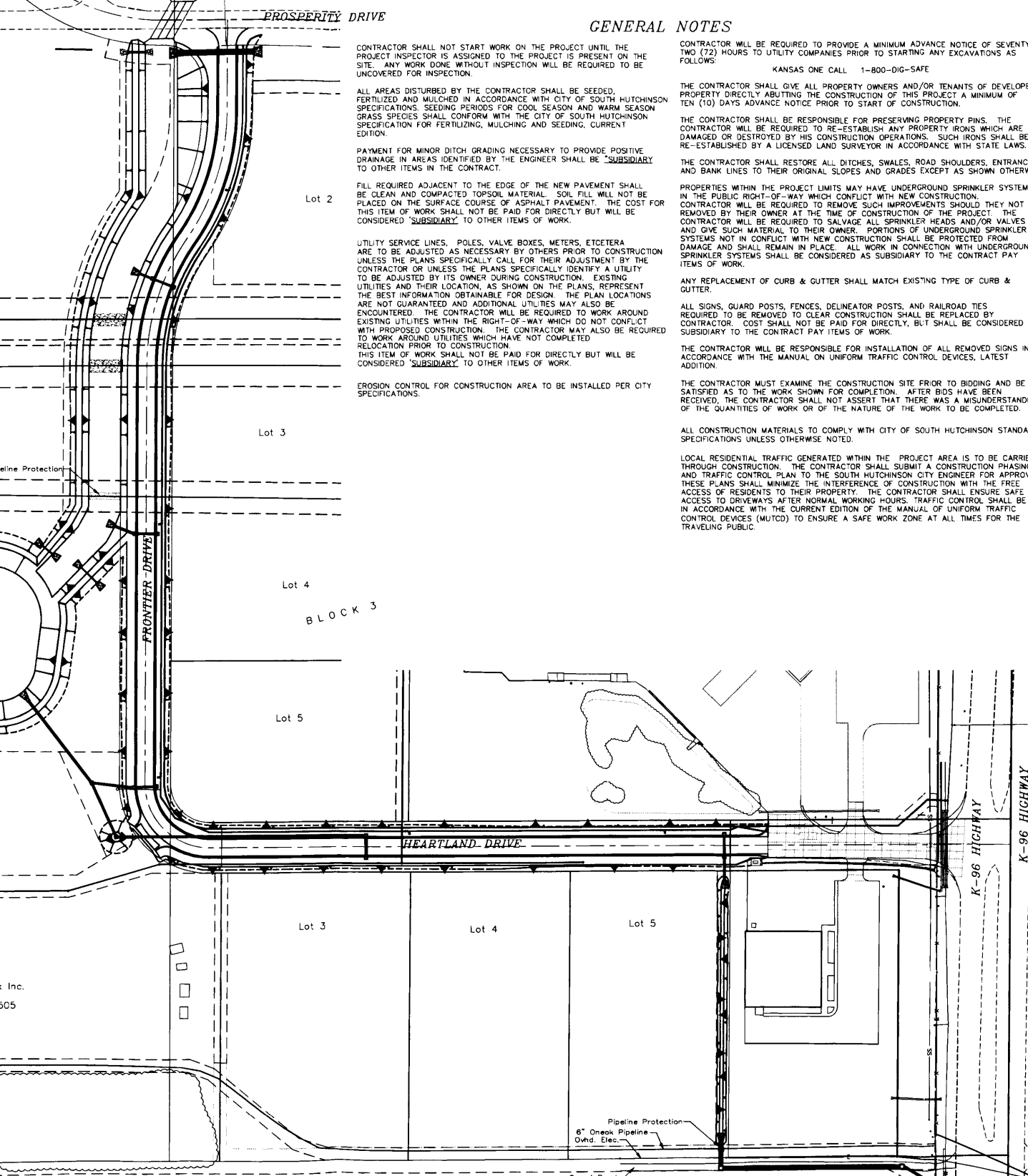
ALL SIGNS, GUARD POSTS, FENCES, DELINEATOR POSTS, AND RAILROAD TIES REQUIRED TO BE REMOVED TO CLEAR CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR. COST SHALL NOT BE PAID FOR DIRECTLY, BUT SHALL BE CONSIDERED SUBSIDIARY TO THE CONTRACT PAY ITEMS OF WORK.

THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLATION OF ALL REMOVED SIGNS IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST ADDITION.

THE CONTRACTOR MUST EXAMINE THE CONSTRUCTION SITE PRIOR TO BIDDING AND BE SATISFIED AS TO THE WORK SHOWN FOR COMPLETION. AFTER BIDS HAVE BEEN RECEIVED, THE CONTRACTOR SHALL NOT ASSERT THAT THERE WAS A MISUNDERSTANDING OF THE QUANTITIES OF WORK OR OF THE NATURE OF THE WORK TO BE COMPLETED.

ALL CONSTRUCTION MATERIALS TO COMPLY WITH CITY OF SOUTH HUTCHINSON STANDARD SPECIFICATIONS UNLESS OTHERWISE NOTED.

LOCAL RESIDENTIAL TRAFFIC GENERATED WITHIN THE PROJECT AREA IS TO BE CARRIED THROUGH CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION PHASING AND TRAFFIC CONTROL PLAN TO THE SOUTH HUTCHINSON CITY ENGINEER FOR APPROVAL. THESE PLANS SHALL MINIMIZE THE INTERFERENCE OF CONSTRUCTION WITH THE FREE ACCESS OF RESIDENTS TO THEIR PROPERTY. THE CONTRACTOR SHALL ENSURE SAFE ACCESS TO DRIVEWAYS AFTER NORMAL WORKING HOURS. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) TO ENSURE A SAFE WORK ZONE AT ALL TIMES FOR THE TRAVELING PUBLIC.



**WATER RESOURCES RECEIVED**  
**DEC 01 2016**  
**KS DEPT OF AGRICULTURE**  
**SCANNED**

VERTICAL AND HORIZONTAL PROJECT CONTROL

N=1798070.7750 E=1470973.5000  
 USGS Azimuth Mark disk set in concrete post stamped "Fair Az Mk" located 27 feet North of the centerline of West Morgan Avenue approximately 1/2 mile West of K-61 and 50 feet West of the former AT&SF railroad (now vacated & razed). Elevation=1546.73 (NAVD88)

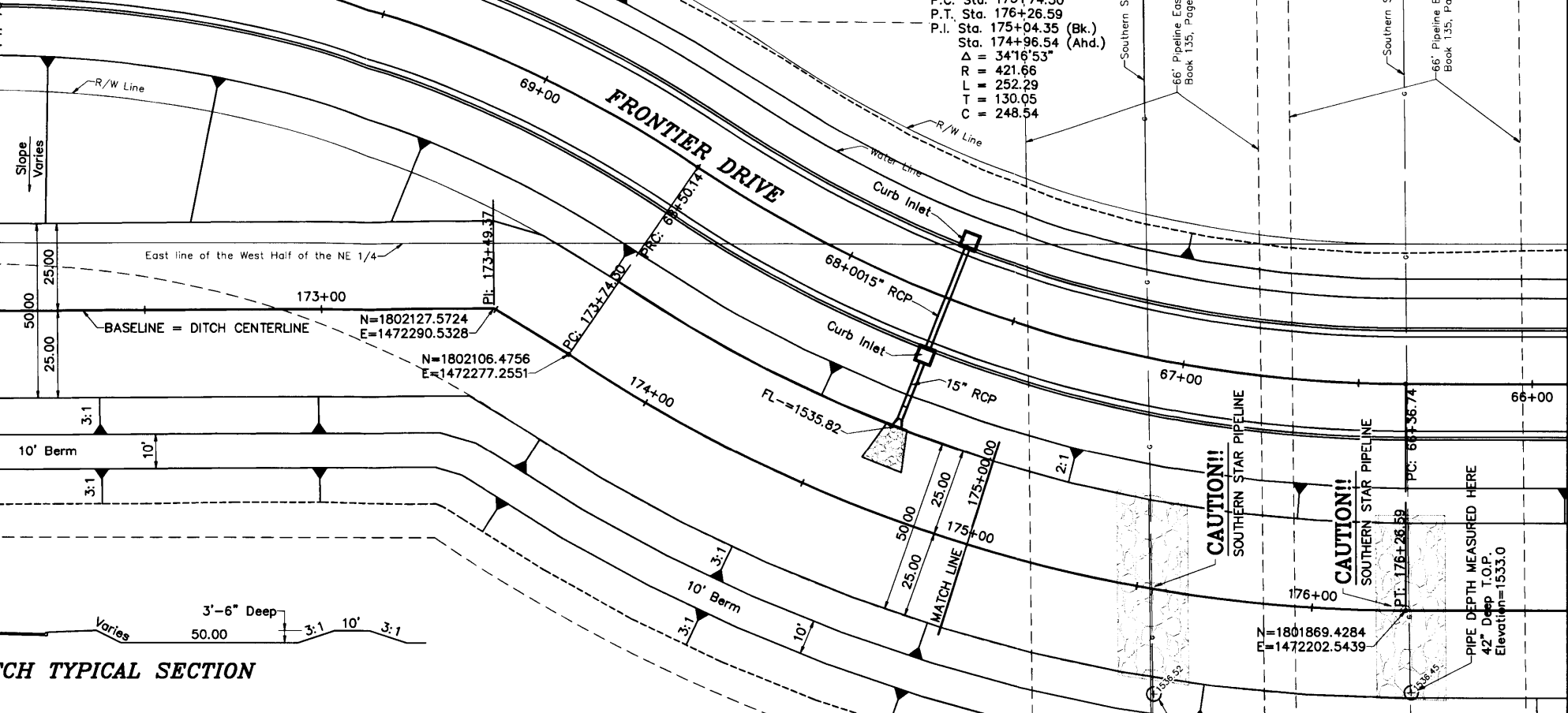
SBM #1 N=1801078.7487 E=1473213.7076  
 Square cut on the Southwest corner of a concrete pad for an electric box that is 163ft west of the entrance to Heartland Outdoor Store. Elevation=1538.65 (NAVD88)

SBM #2 N=1801844.4099 E=1472976.1589  
 Blue capped rebar in concrete 167ft West and 84ft North of the Northeast corner of the Conoco Plaza Go truck parking lot. Elevation=1540.26 (NAVD88)

SBM #3 N=1800795.5778 E=1473408.4049  
 Blue square cut in the South edge of the concrete and 205 feet East of the Southwest corner of the Heartland Outdoor concrete parking lot. Elevation=1537.11 (NAVD88)

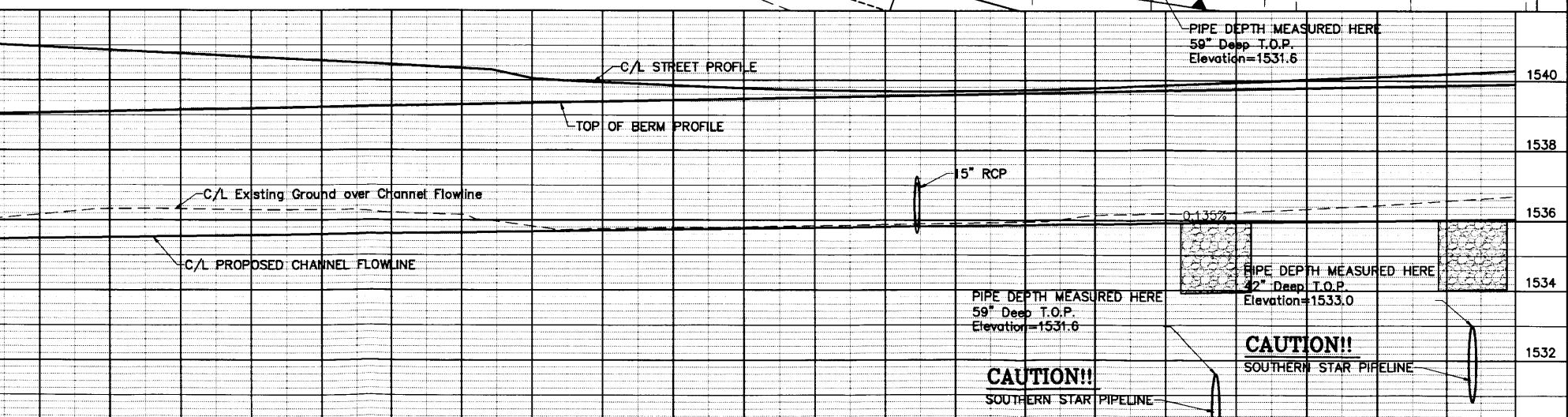
**FRONTIER COMMERCE PARK**  
**LAYOUT SHEET**  
 STREET IMPROVEMENTS  
 SOUTH HUTCHINSON, KANSAS  
**CERTIFIED ENGINEERING DESIGN, P.A.**  
 1935 WEST MAPLE  
 WICHITA, KANSAS 67213

**CEP**



P.C. Sta. 174.00  
 P.T. Sta. 176+26.59  
 P.I. Sta. 175+04.35 (Bk.)  
 Sta. 174+96.54 (Ahd.)  
 $\Delta = 34^{\circ}16'53''$   
 $R = 421.66$   
 $L = 252.29$   
 $T = 130.05$   
 $C = 248.54$

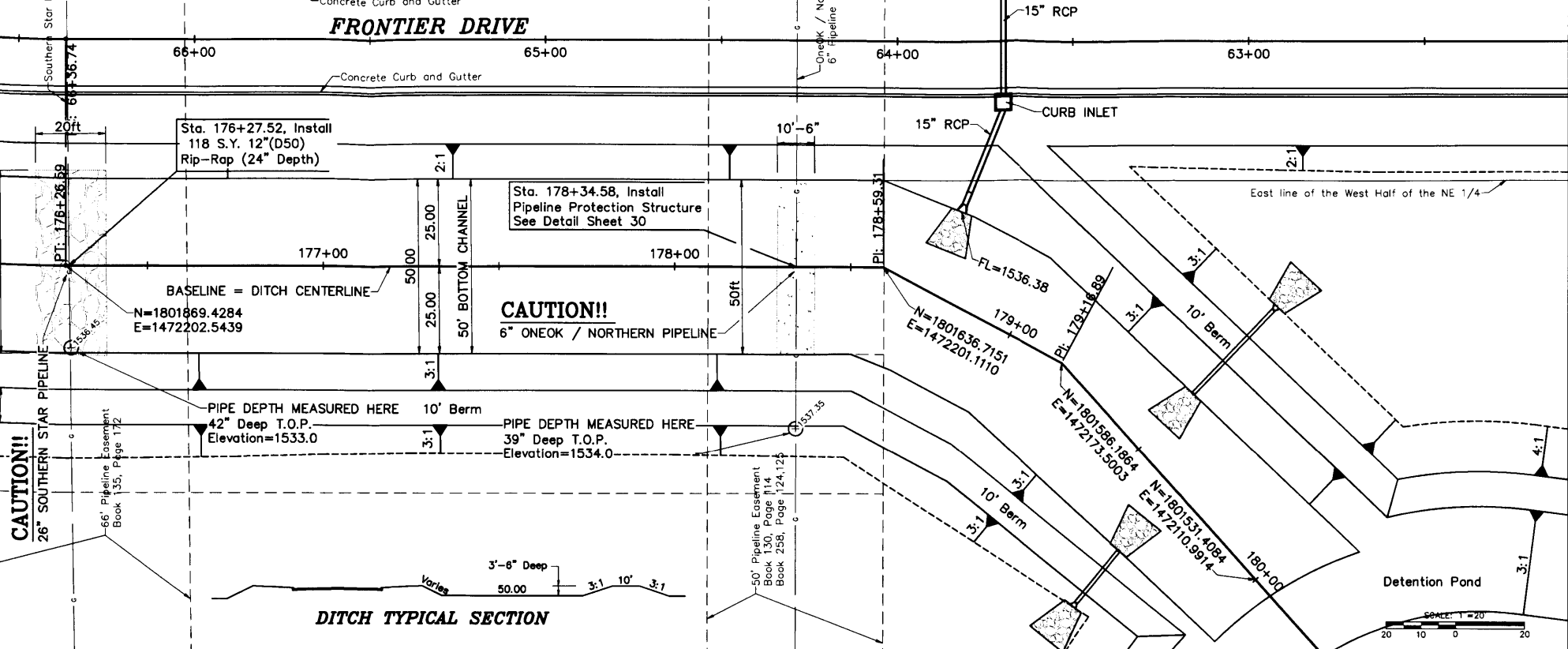
**CH TYPICAL SECTION**



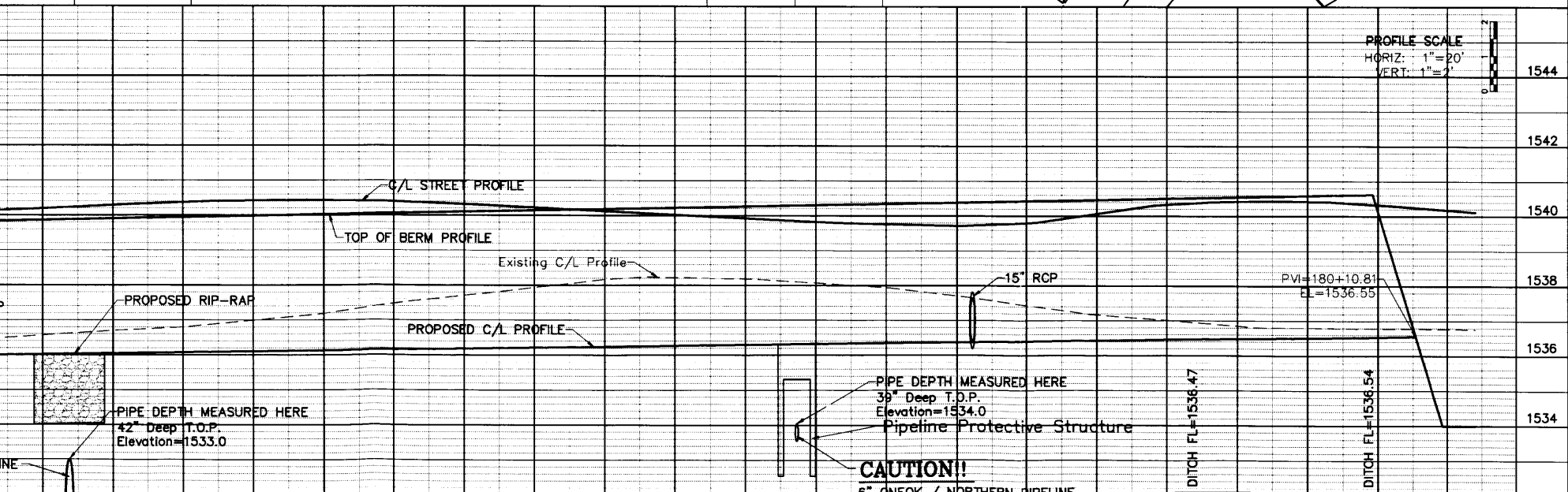
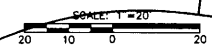
<b>FRONTIER COMMERCE PARK</b> <b>NORTH CHANNEL</b> STREET IMPROVEMENTS SOUTH HUTCHINSON, KANSAS	
<b>CERTIFIED ENGINEERING DESIGN, P.A.</b>	
1935 WEST MAPLE WICHITA, KANSAS 67213 PH.(316)262-8808 FAX.(316)262-1669	



**FRONTIER DRIVE**



**DITCH TYPICAL SECTION**

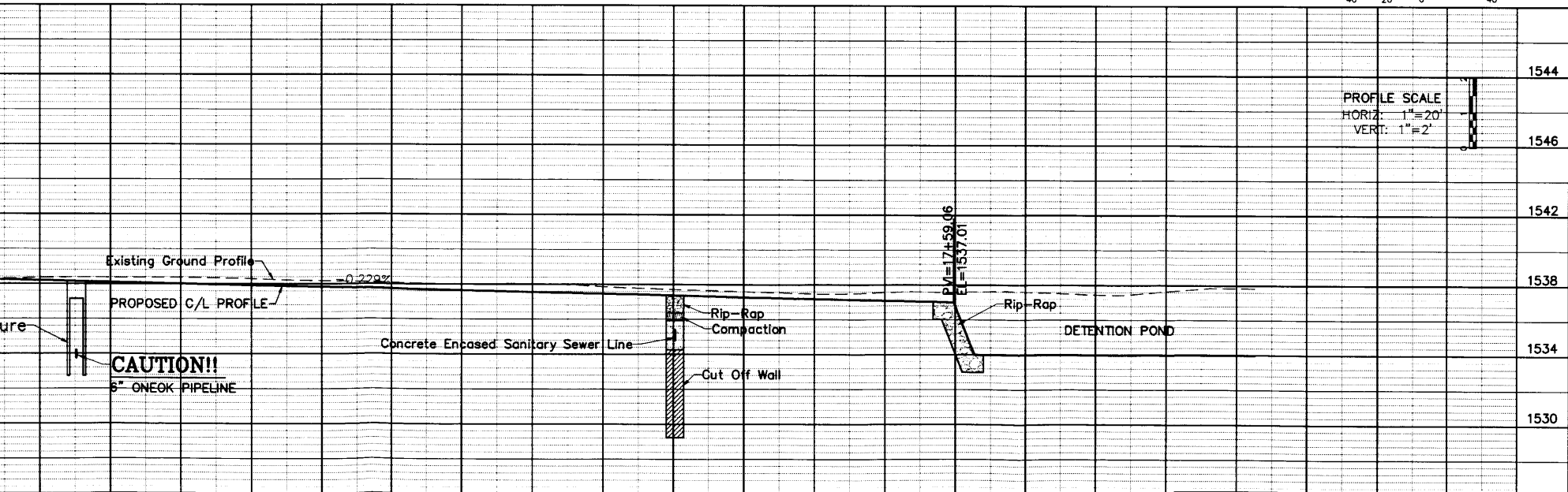
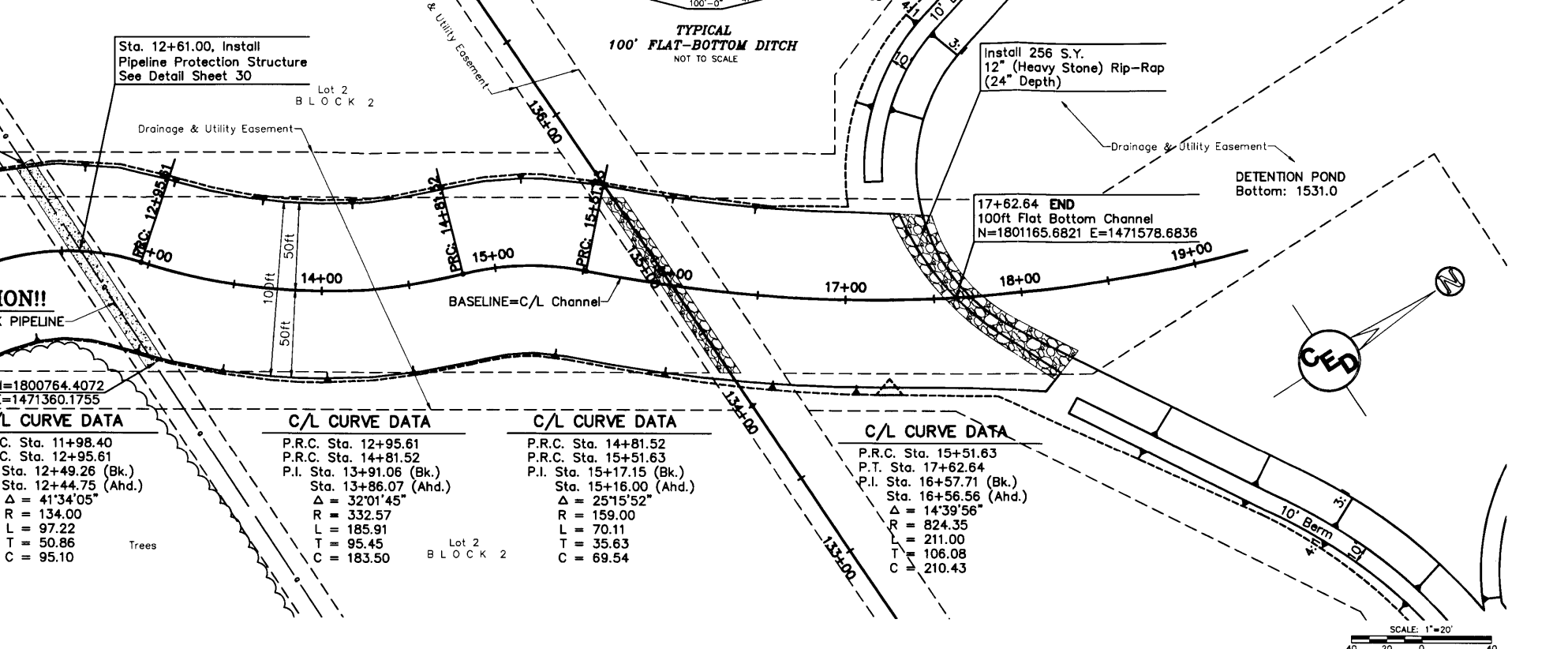


**PROFILE SCALE**  
 HORIZ: 1" = 20'  
 VERT: 1" = 2'

FRONTIER COMMERCE PARK  
**NORTH CHANNEL**  
 STREET IMPROVEMENTS  
 SOUTH HUTCHINSON, KANSAS  
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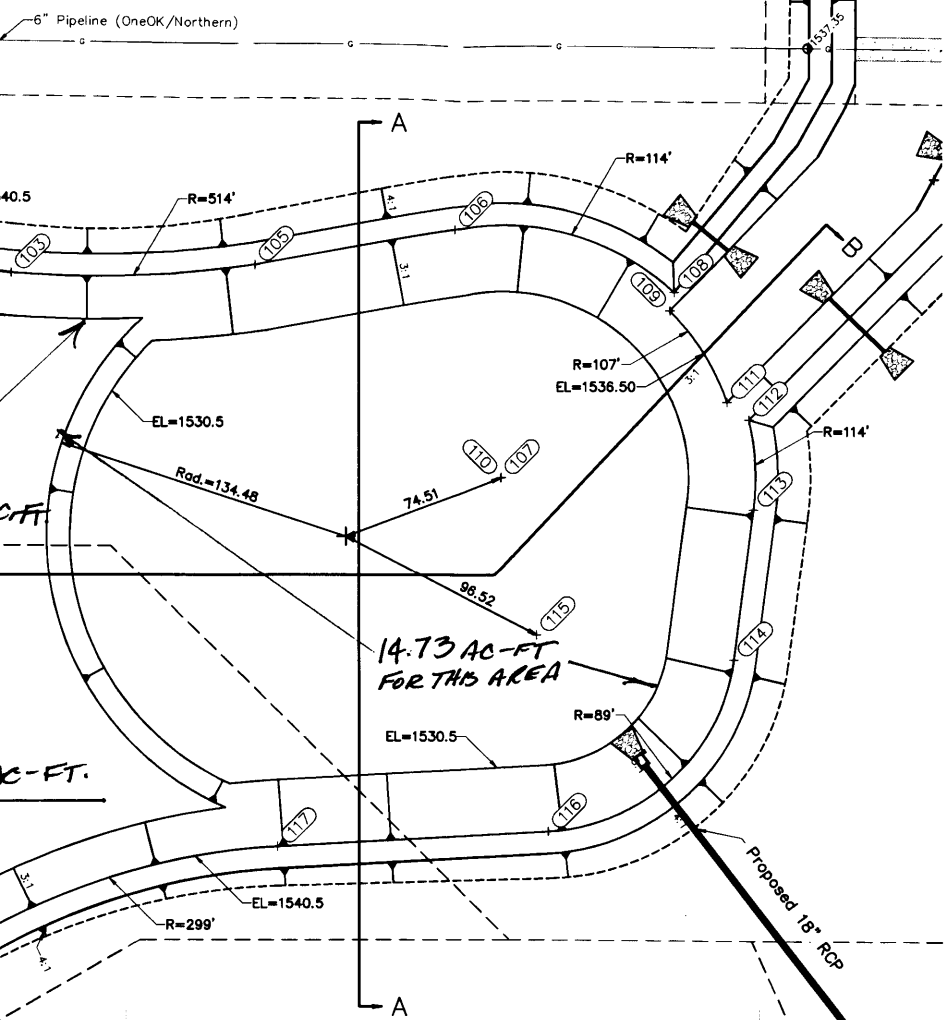




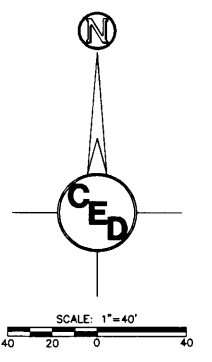


FRONTIER COMMERCE PARK  
**SOUTH CHANNEL**  
STREET IMPROVEMENTS  
SOUTH HUTCHINSON, KANSAS  
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**CEP**



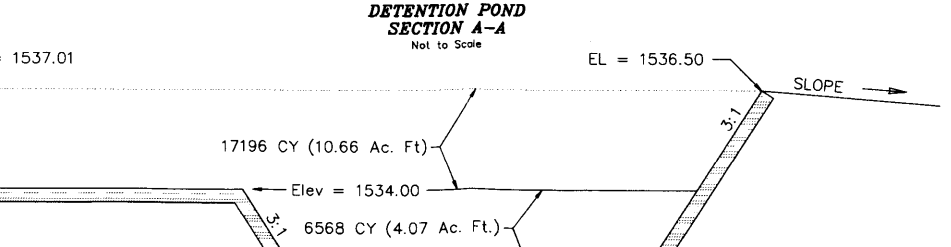
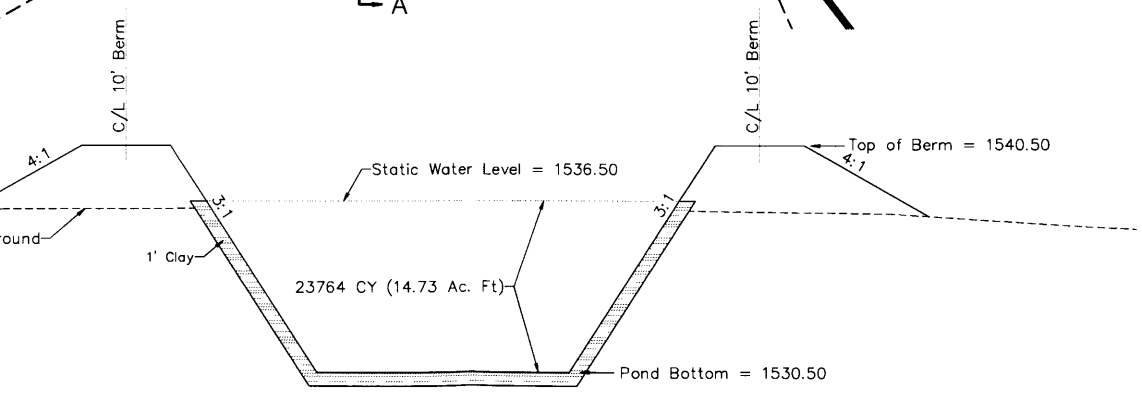
DETERMINING THE EXACT LOCATION, DEPTH AND SIZE OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY THE FAILURE TO DO SO.



100	1801508.67	1471490.24	1540.5	Berm Top
101	1801431.40	1471616.16	1531.0	148ft, Rad. Pt.
102	1801578.40	1471630.94	1540.5	Berm Top
103	1801560.40	1471797.80	1540.5	Berm Top
104	1802072.67	1471835.92	-	514ft, Rad. Pt.
105	1801563.93	1471907.04	1540.5	Berm Top
106	1801580.31	1471996.62	1540.5	Berm Top
107	1801467.87	1472017.31	1531.0	114ft, Rad. Pt.
108	1801551.45	1472095.32	1540.5	Berm Top
109	1801543.16	1472093.37	1536.5	Berm Top
110	1801468.02	1472017.53	1531.0	107ft, Rad. Pt.
111	1801501.80	1472118.80	1536.5	Berm Top
112	1801493.83	1472128.66	1540.5	Berm Top
113	1801453.21	1472130.70	1540.5	Berm Top
114	1801385.28	1472121.82	1540.5	Berm Top
115	1801396.74	1472033.33	1531.0	89ft, Rad. Pt.
116	1801307.66	1472038.37	1540.5	Berm Top
117	1801300.85	1471916.91	1540.5	Berm Top
118	1801002.12	1471933.77	-	299ft, Rad. Pt.
119	1801253.66	1471771.74	1540.5	Berm Top
120	1801191.80	1471664.57	1540.5	Berm Top
121	1801191.94	1471647.46	1538.2	Berm Top
122	1801176.23	1471612.16	1538.2	Berm Top
123	1801322.58	1471547.64	1531.0	160ft, Rad. Pt.
124	1801164.88	1471520.98	1538.2	Berm Top
125	1801167.29	1471500.05	1540.5	Berm Top
126	1801273.45	1471561.10	1531.0	122ft, Rad. Pt.
127	1801241.63	1471442.84	1540.5	Berm Top
128	1801274.03	1471434.53	1540.5	Berm Top
129	1801333.98	1471683.82	1531.0	256ft, Rad. Pt.
130	1801471.33	1471467.32	1540.5	Berm Top

POND CONSTRUCTION SEQUENCE

1. Pond Bottom and side slopes below static water elevation shall be over-excavated 1' and a 1' clay liner installed and compacted to 95% std. Density in 2-6" Lifts. The plasticity index shall be at least 30. The compaction and P.I. shall be verified during construction. P.I. determination and compaction testing shall be arranged by the contractor at the request of the inspector. Cost shall be subsidiary to "Clay Liner Construction". Estimated liner is 7191 C.Y.'s.  
Ground water control, if required for completion of excavation, is subsidiary to "Clay Liner Construction".
2. All Reserves above the static water elevation shall be seeded and mulched as follows: (Permanent Seeding)  
SEED: Kansas Premium Fescue Blend, 8#/1000 Sq. Ft.  
FERTILIZER: 12-24-12 Ratio @ 350 Lbs./Acre  
MULCH: Prairie Hay, 2 Tons/Acre
3. Contractor to strip top 6" of soil before mass grading and stockpile. Top soil stockpile to be redistributed over entire disturbed area excluding street right-of-way and ponds to achieve planned grade.



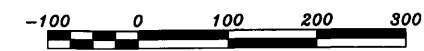
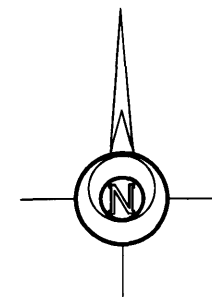
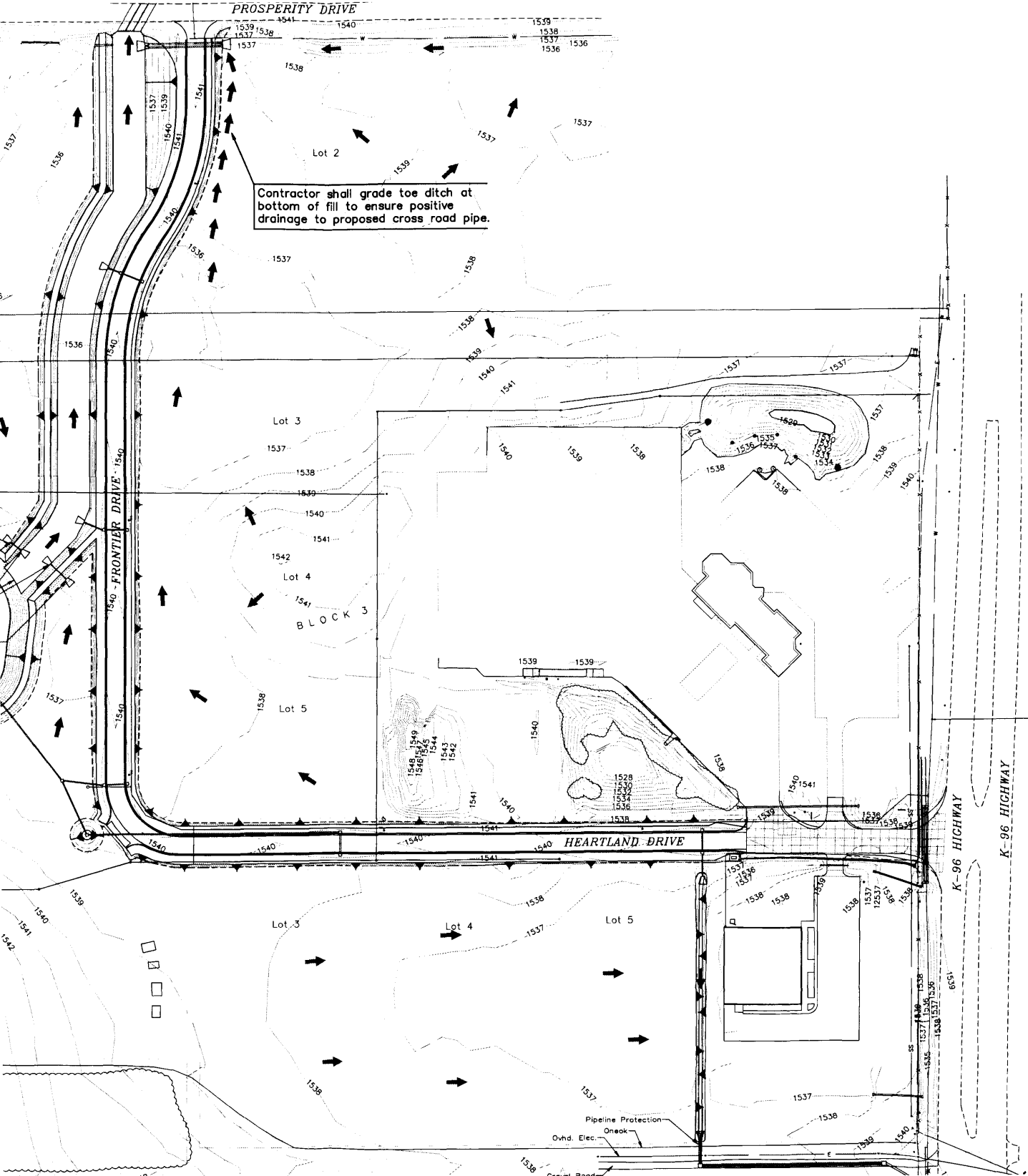
**FRONTIER COMMERCE PARK  
PROPOSED POND  
STREET IMPROVEMENTS**

SOUTH HUTCHINSON, KANSAS

**CERTIFIED ENGINEERING DESIGN, P.A.**

1935 WEST MAPLE  
WICHITA, KANSAS 67213  
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WATER RESOURCES  
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KS DEPT OF AGRICULTURE

FRONTIER COMMERCE PARK <b>PROJECT CONTOURS</b> STREET IMPROVEMENTS	
SOUTH HUTCHINSON, KANSAS	
<b>CERTIFIED ENGINEERING DESIGN, P.A.</b>	
<b>CE</b>	1935 WEST MAPLE WICHITA, KANSAS 67213